

# 1299 Tarrants Gap Rd, Wyangala, NSW 2808

DA for Change of Use



Council  
Approval.  
GROUP

DWG No.	DESCRIPTION	SCALE	DA-008	EXISTING SITE PLAN (2)	1:1
DA-000	COVER SHEET	1:1.50, 1:1, 1:89...	DA-009	EXISTING FLOOR PLAN (SH...	1:100, 1:1.33
DA-001	ORIGINAL SITE PLAN (1:250...	1:2500	DA-010	SHED 1 EXISTING ELEVATIO...	1:100, 1:1.33
DA-002	ORIGINAL SITE PLAN	1:500	DA-011	SHED 1 EXISTING SECTION	1:100, 1:1.33
DA-003	ORIGINAL FLOOR PLAN	1:100	DA-012	PROP. STUDIO PLAN (SHE...	1:100
DA-004	ORIGINAL ELEVATIONS	1:100	DA-013	PROP. STUDIO SHED 2 ELE...	1:100, 1:1.59
DA-005	ORIGINAL SECTIONS	1:100	DA-014	PROP. STUDIO SHED 2 SEC...	1:100
DA-006	ORIGINAL PERSPECTIVE	1:161.52	DA-015	PROPOSED 3D IMAGES (1)	1:158.75
DA-007	EXISTING SITE PLAN (1)	1:1	DA-016	PROPOSED 3D IMAGES (2)	1:158.75

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CENTRELINE OF EXISTING TRACK

UNFORMED ROAD

TARRANTS C

UNFORMED

GAP



**Council  
Approval.**  
GROUP

Client: <b>Peter Duncan</b>	Town Planner: KG Drawn By: MM Checked By: GC	Revision: <b>5</b> Scale: <b>1:2500 @ A2</b>	<b>1300 008 138</b> info@councilapproval.com.au www.councilapproval.com.au
Project: <b>DA for Change of Use</b> 1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>ORIGINAL SITE PLAN (1:2500)</b> Drawing Number: <b>DA-001</b> Nominated Architect: <b>Giuseppe Calabrese NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: 23512142969	

Figured dimensions take precedence over scale dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

Rev	Description	Draft	Issued
5	Updated Studio Layout	MM	18/11/24
4	Final DA Plans Issued	MM	8/10/24
3	Smoke Alarms and Fire Blanket	MM	23/8/24
2	Client changes	MM	21/3/24
1	Initial Concept Plans	MM	8/2/24



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5	Updated Studio Layout	MM	18/11/24
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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>ORIGINAL SITE PLAN</b>  Drawing Number: <b>DA-002</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: 23512142969	

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Rev	Description	Drft	Issued



**1300 008 138**  
info@councilapproval.com.au  
www.councilapproval.com.au

Client: **Peter Duncan**

Project: **DA for Change of Use**

1299 Tarrants Gap Rd, Wyangala, NSW 2808

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Town Planner: **KG**

Drawn By: **MM**

Checked By: **GC**

Revision: **5**

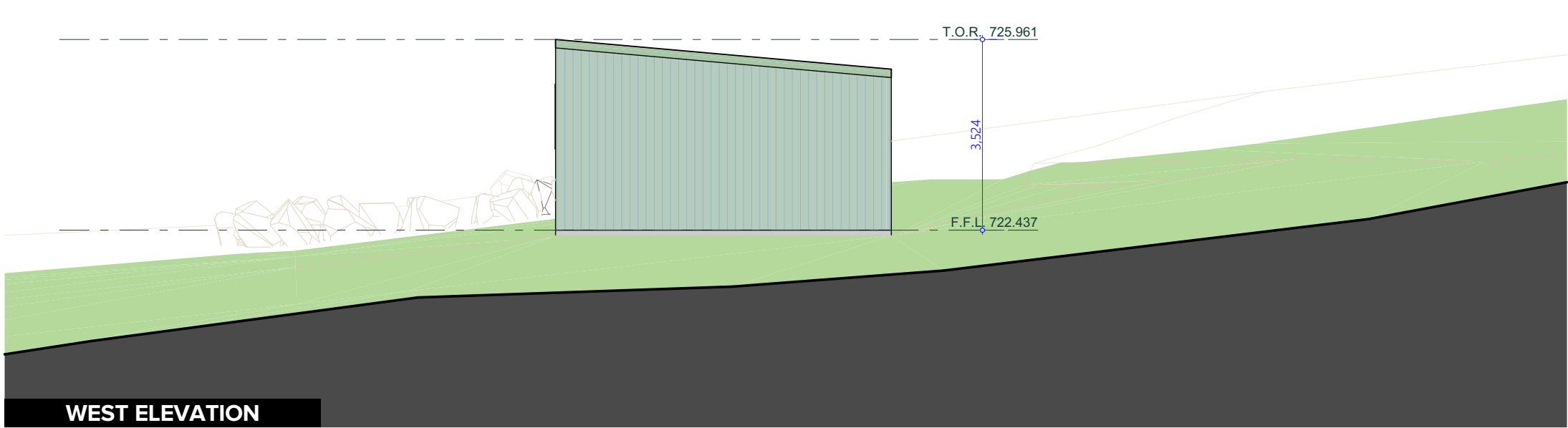
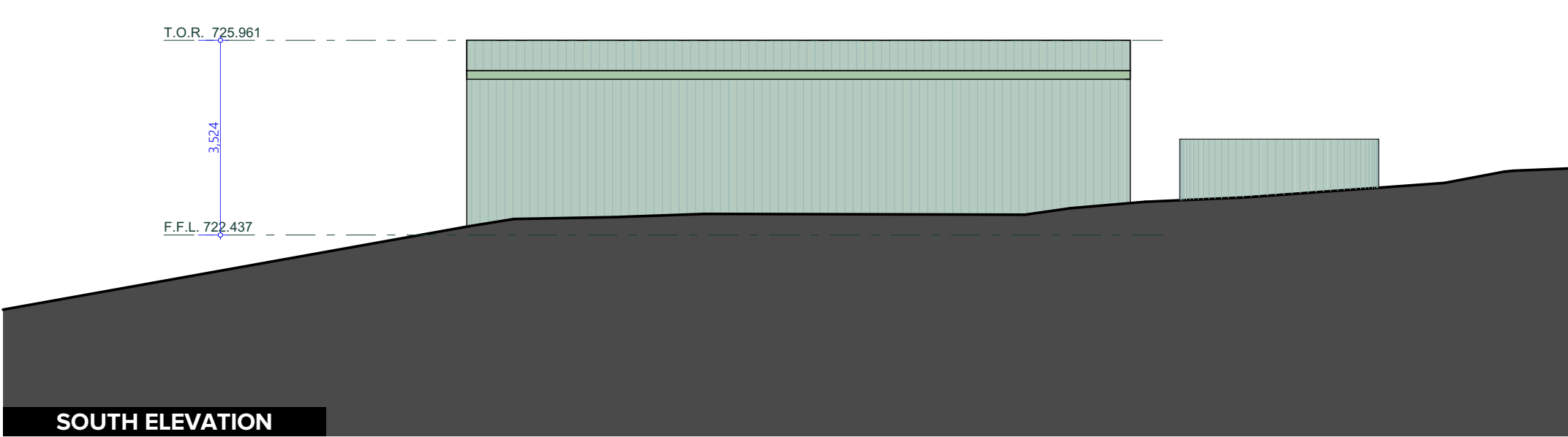
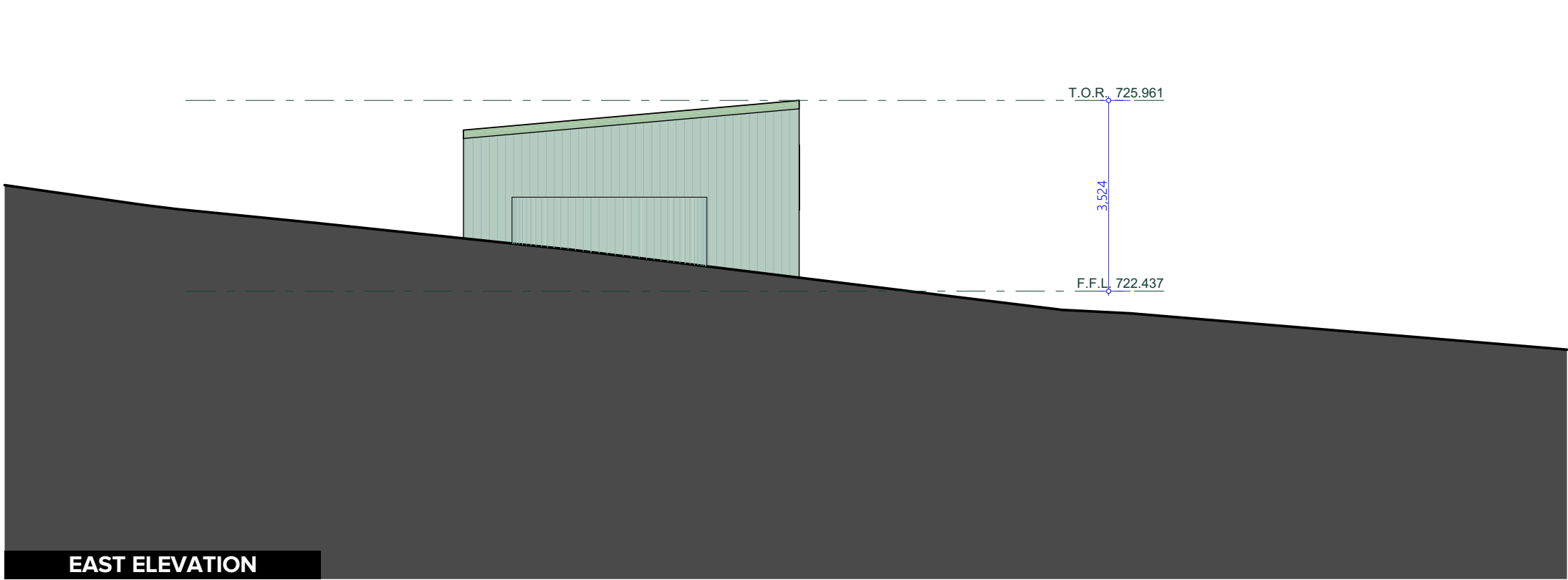
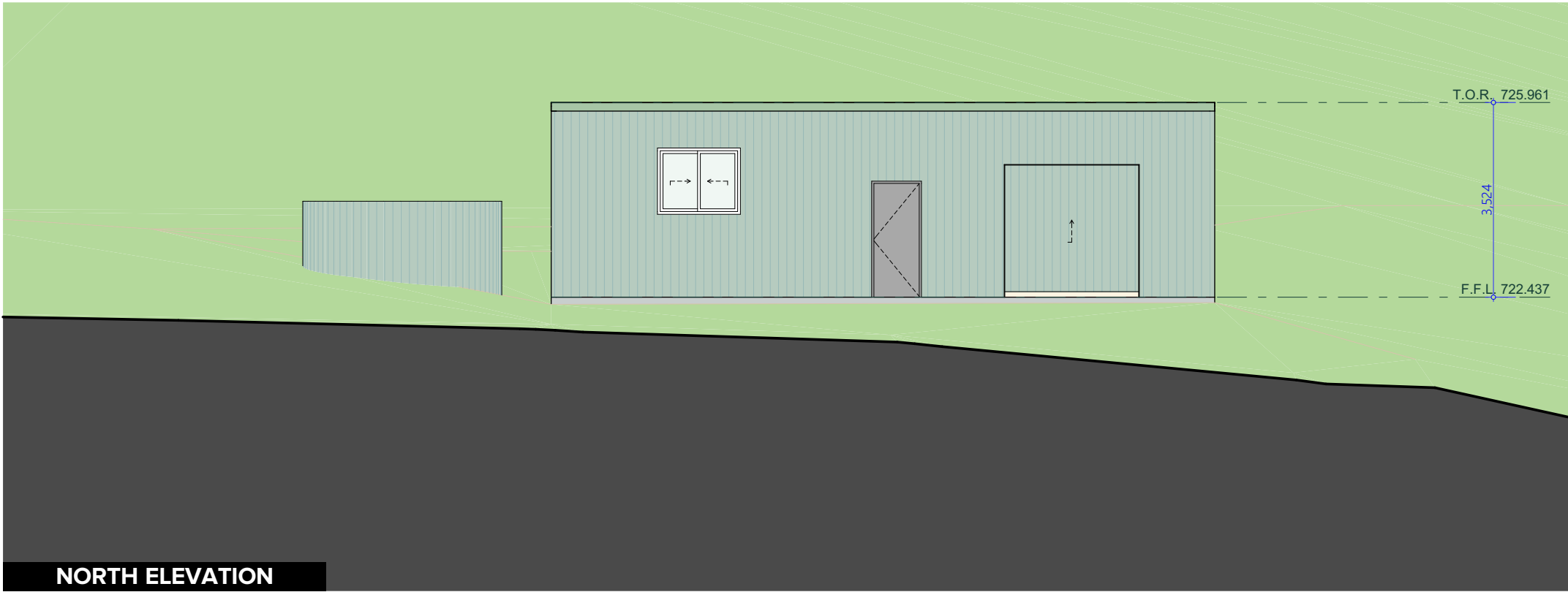
Scale: **1:100 @ A3**

Drawing Name: **ORIGINAL FLOOR PLAN**


Drawing Number: **DA-003**

Nominated Architect: **Giuseppe Calabrese**  
**NSW8079 | VIC00137**

Approvals Pty Ltd as Trustee for  
The Council Approval Group Trust  
ABN: **23512142969**

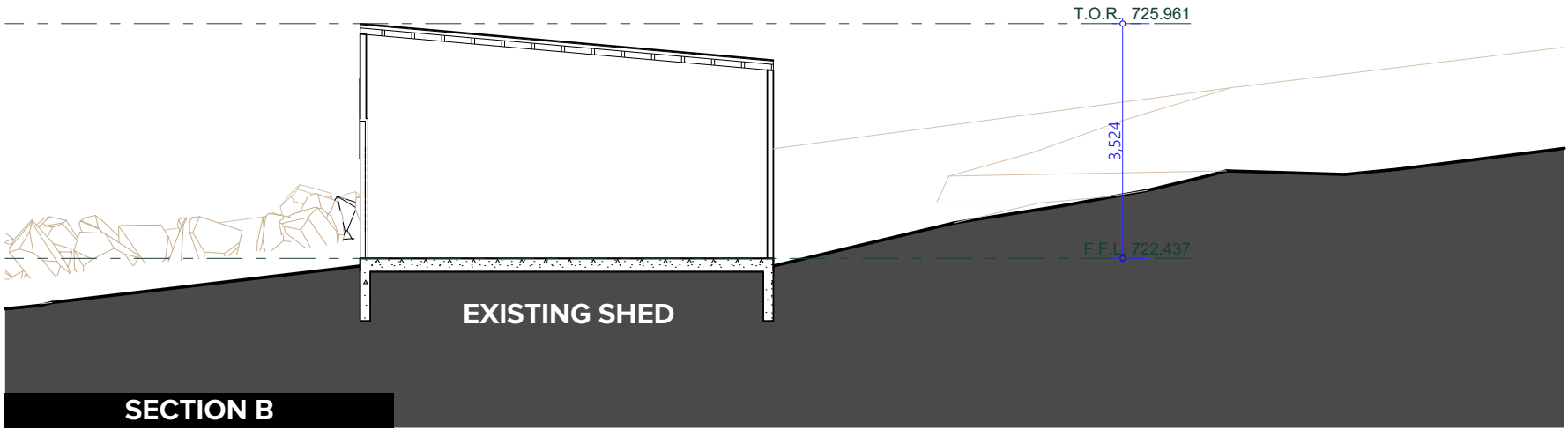
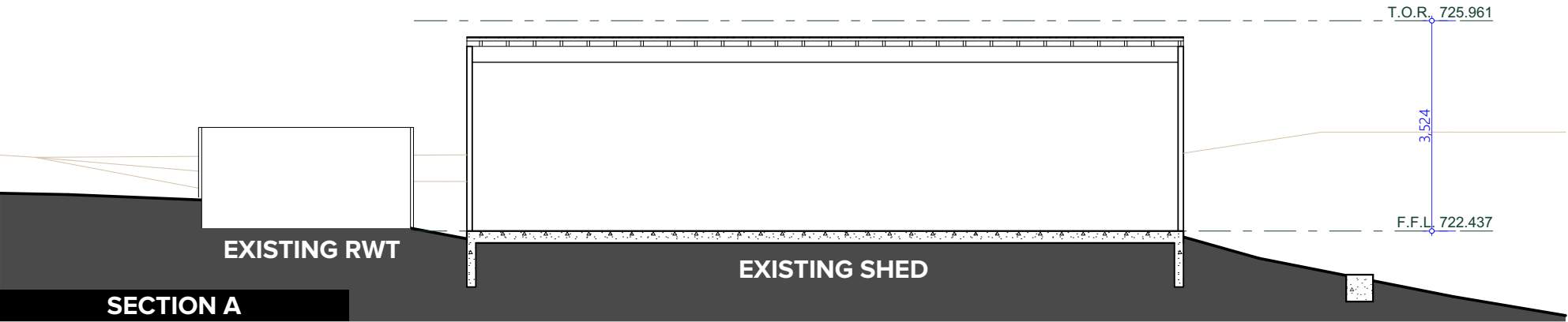


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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>ORIGINAL ELEVATIONS</b>  Drawing Number: <b>DA-004</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: <b>23512142969</b>	

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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>ORIGINAL SECTIONS</b>  Drawing Number: <b>DA-005</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: <b>23512142969</b>	

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FRONT VIEW PERSPECTIVE



SIDE VIEW PERSPECTIVE

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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>ORIGINAL PERSPECTIVE</b>  Drawing Number: <b>DA-006</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: <b>23512142969</b>	

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CENTRELINE OF EXISTING TRACK

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ROAD

ROAD

UNFORMED

ROAD

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SETBACK 372m

SEE SHEET 2

EASEMENTS:

- (A) : RIGHT OF CARRIAGEWAY 10 WIDE (DP718035)  
(B) : RIGHT OF CARRIAGEWAY OVER TRACK IN USE  
(APPROXIMATE POSITION) (AN989284)

I, Gregory Doherty, Surveyor, Registered under the Surveying and Spatial Information Act, 2002 hereby certify that the survey represented by this sketch has been made in accordance with Clause 10 of Surveying and Spatial Information Regulation, 2017, and is correct.

Surveyor Registered under the Surveying and Spatial Information Act 2002 No. 83

ARÊTE SURVEY SOLUTIONS

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T 02 6344 1558  
E admin@aretesurvey.com.au

CLIENT: MR PETER DUNCAN

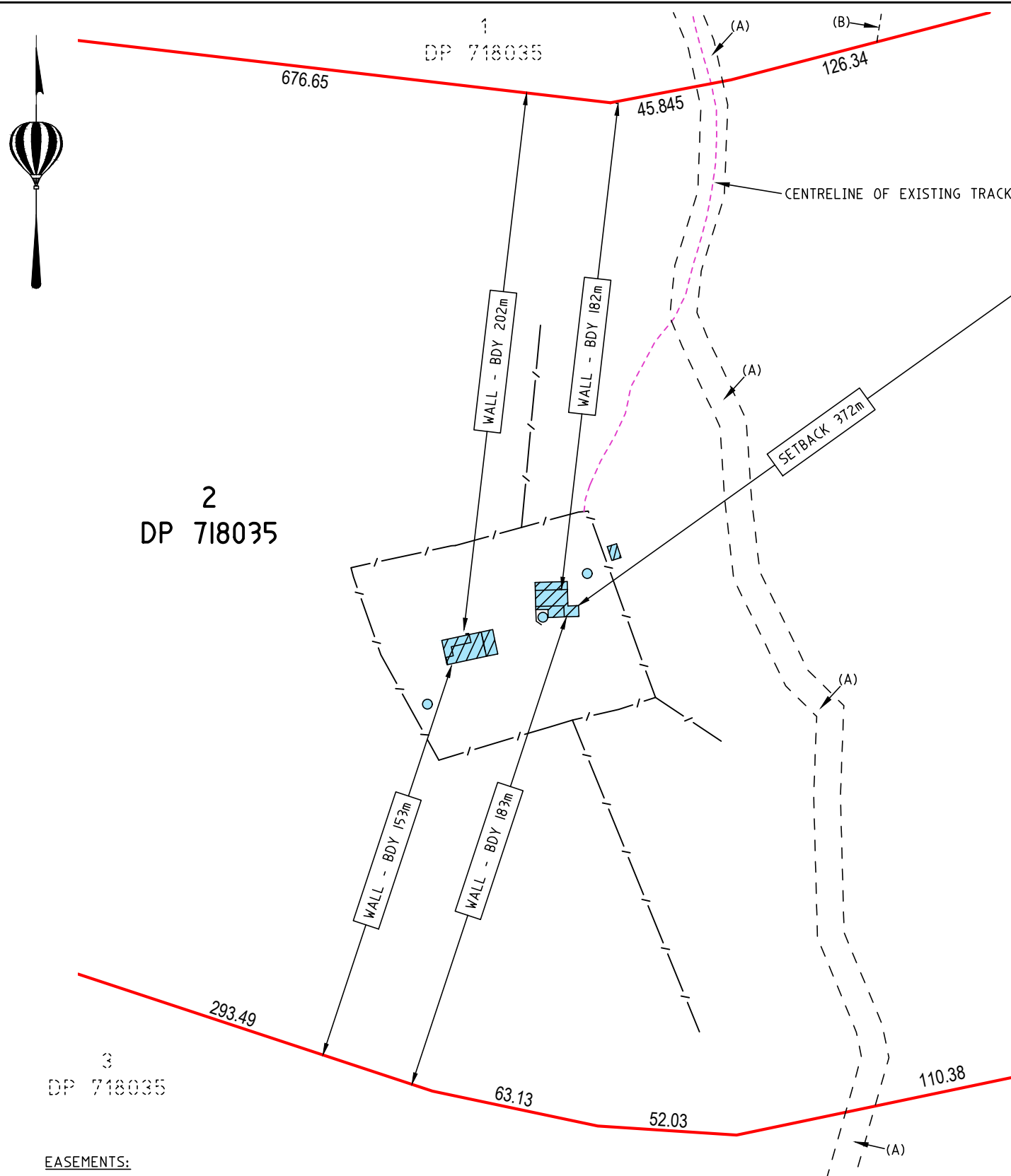
SKETCH FOR IDENTIFICATION PURPOSES  
TO ACCOMPANY MY REPORT  
DATED 22/08/2023

FILE No.

23089

LGA: HILLTOPS

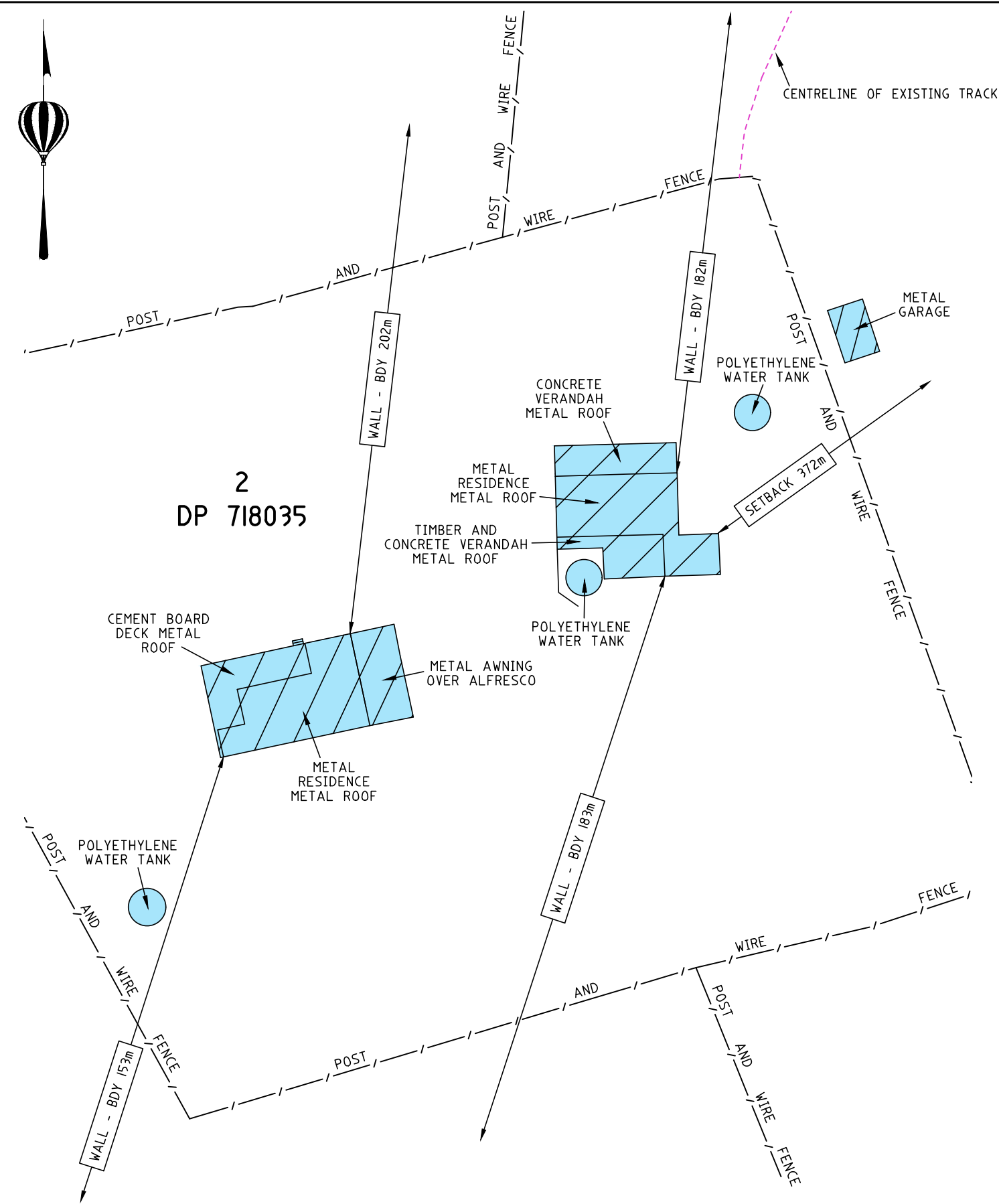




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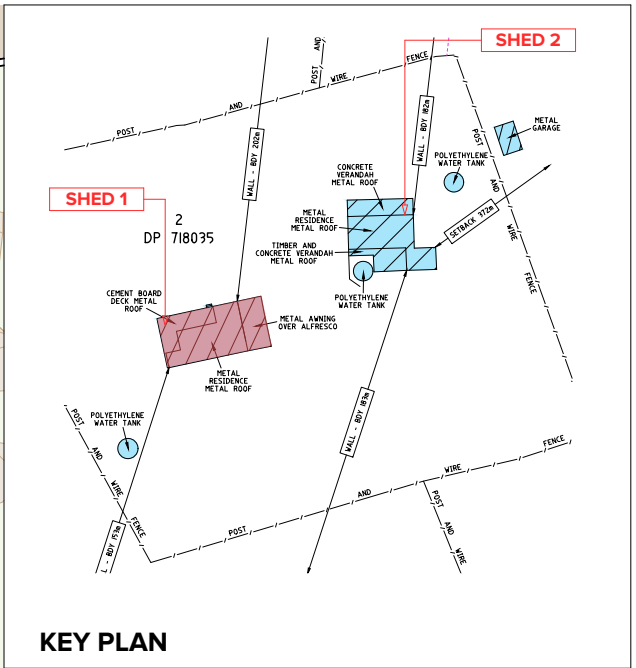
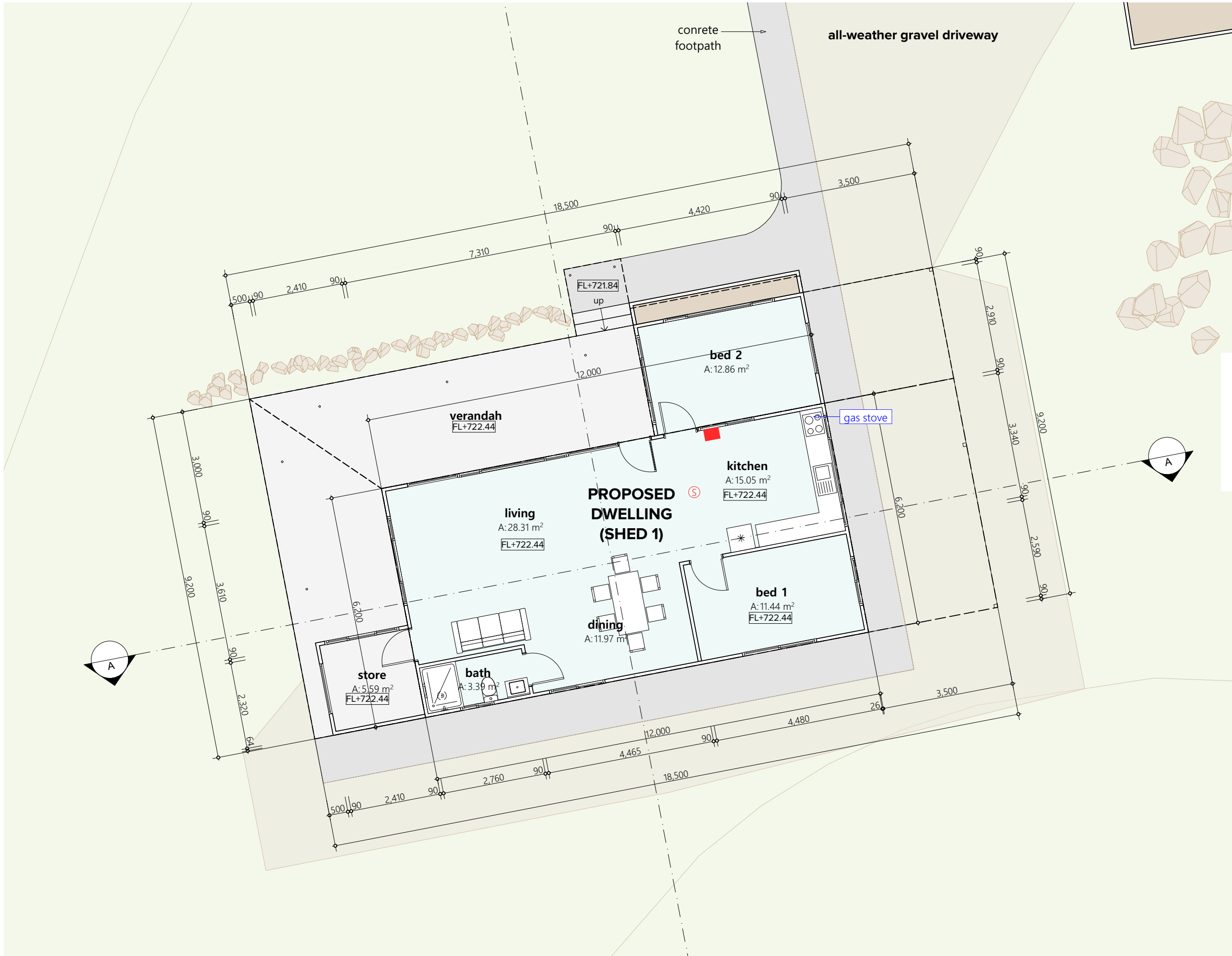
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CLIENT: MR PETER DUNCAN		
SKETCH FOR IDENTIFICATION PURPOSES TO ACCOMPANY MY REPORT DATED 22/08/2023		
FILE No.	23089	LGA: HILLTOPS



**BASIX** Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Single Dwelling

Certificate number: 1767231S

Date of issue: Wednesday, 02 October 2024

LEGEND:

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smoke alarm

■

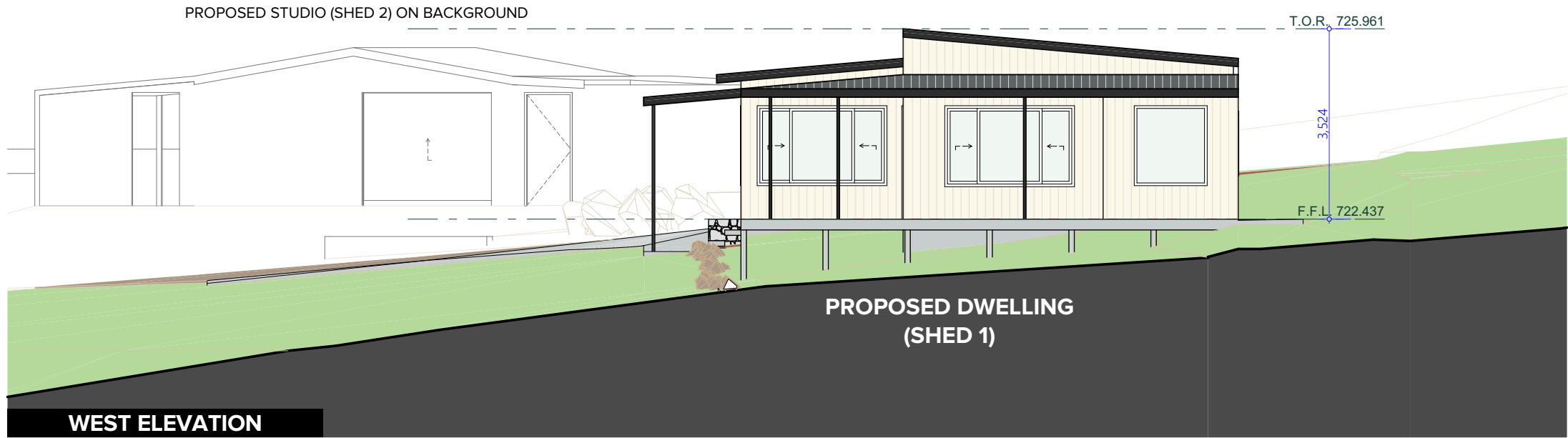
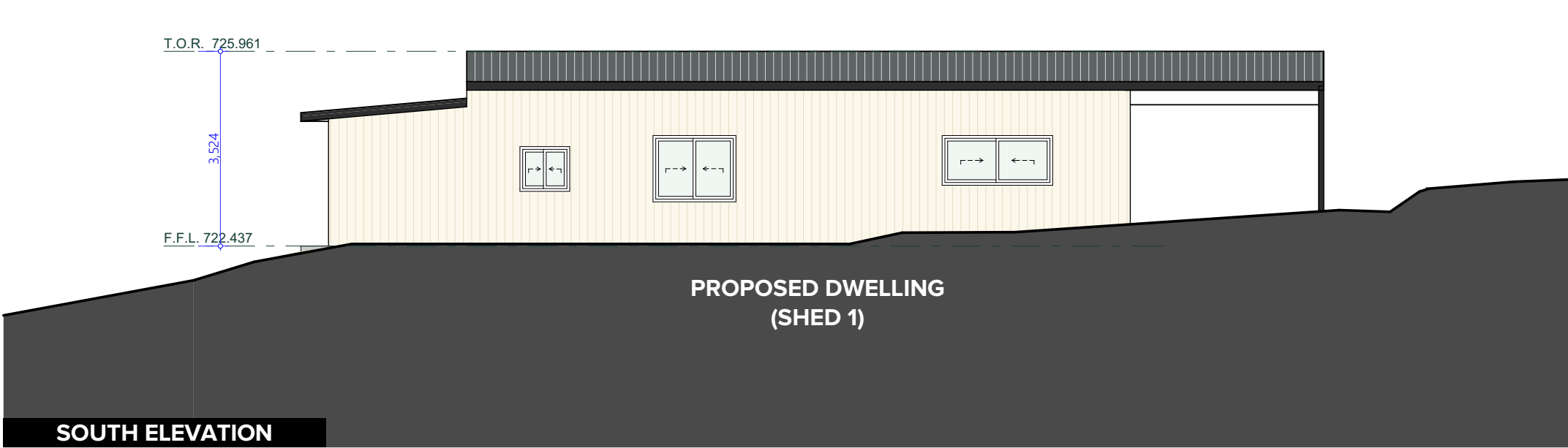
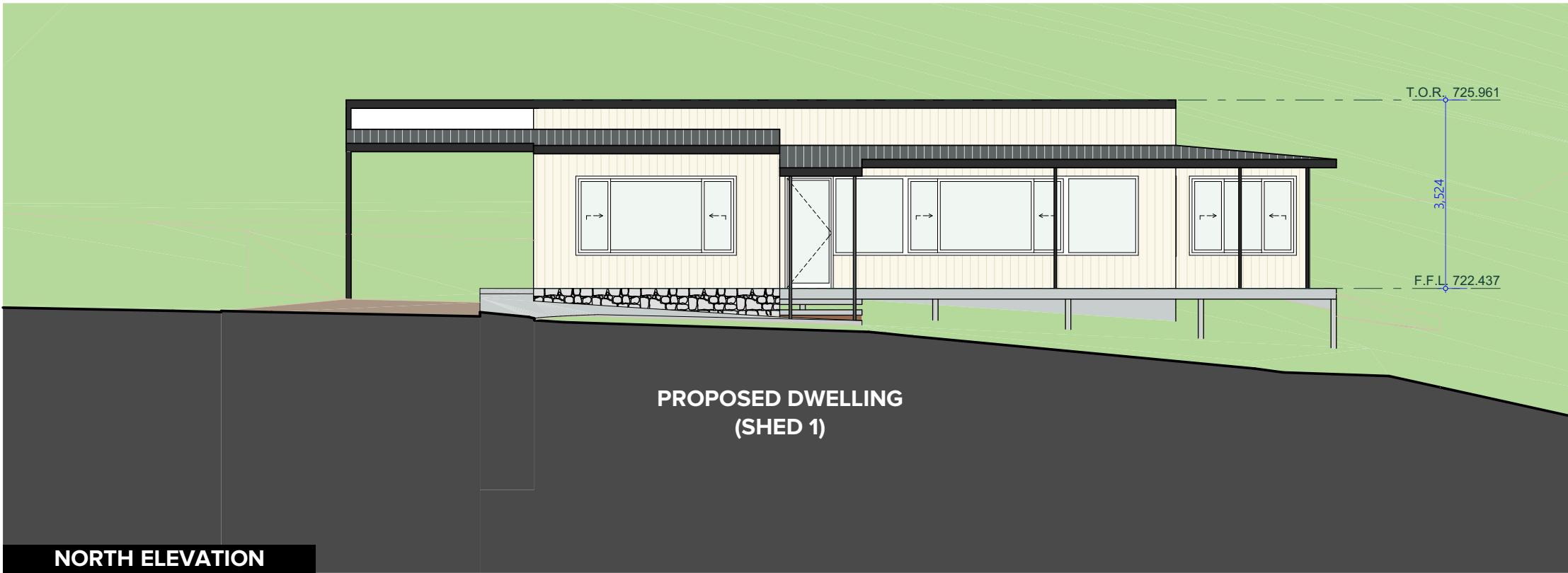
fire extinguisher/  
fire blanket



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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>EXISTING FLOOR PLAN (SHED 1)</b> Drawing Number: <b>DA-009</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: 23512142969	

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## BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

### Single Dwelling

Certificate number: 1767231S

Date of issue: Wednesday, 02 October 2024

Water Commitments			
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.			
The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.			
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.			
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.			
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 26000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.			
The applicant must configure the rainwater tank to collect rain runoff from at least 175 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).			
The applicant must connect the rainwater tank to:			
• all toilets in the development			
• the cold water tap that supplies each clothes washer in the development			
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)			
• all hot water systems in the development			
Thermal Performance and Materials commitments			
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.			
The conditioned floor area of the dwelling must not exceed 300 square metres.			
The dwelling must not contain open mezzanine area exceeding 25 square metres.			
The dwelling must not contain third level habitable attic room.			
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.			
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.			
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			

Thermal Performance and Materials commitments					
Glazed windows, doors and skylights					
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.					
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.					
The following requirements must also be satisfied in relation to each window and glazed door:					
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.					
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.					
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).					
Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North-East facing					
W01	1400.00	1300.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	eave 500 mm, 450 mm above head of window or glazed door	not overshadowed
W02	920.00	3000.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	eave 500 mm, 450 mm above head of window or glazed door	not overshadowed
South-East facing					
W04	900.00	2000.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	eave 500 mm, 450 mm above head of window or glazed door	not overshadowed
Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W05	1200.00	1500.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	eave 500 mm, 450 mm above head of window or glazed door	not overshadowed
W06	810.00	900.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	eave 500 mm, 450 mm above head of window or glazed door	not overshadowed
South-West facing					
W11	1500.00	2400.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	verandah 3000 mm, 2250 mm above base of window or glazed door	not overshadowed
W09	1400.00	2400.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	verandah 3000 mm, 2250 mm above base of window or glazed door	not overshadowed
North-West facing					
W10	1400.00	5700.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.6)	verandah 3000 mm, 2250 mm above base of window or glazed door	not overshadowed
W8	1400.00	2000.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.33)	verandah 3000 mm, 2250 mm above base of window or glazed door	not overshadowed
W12	1400.00	3000.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.33)	eave 500 mm, 500 mm above head of window or glazed door	not overshadowed

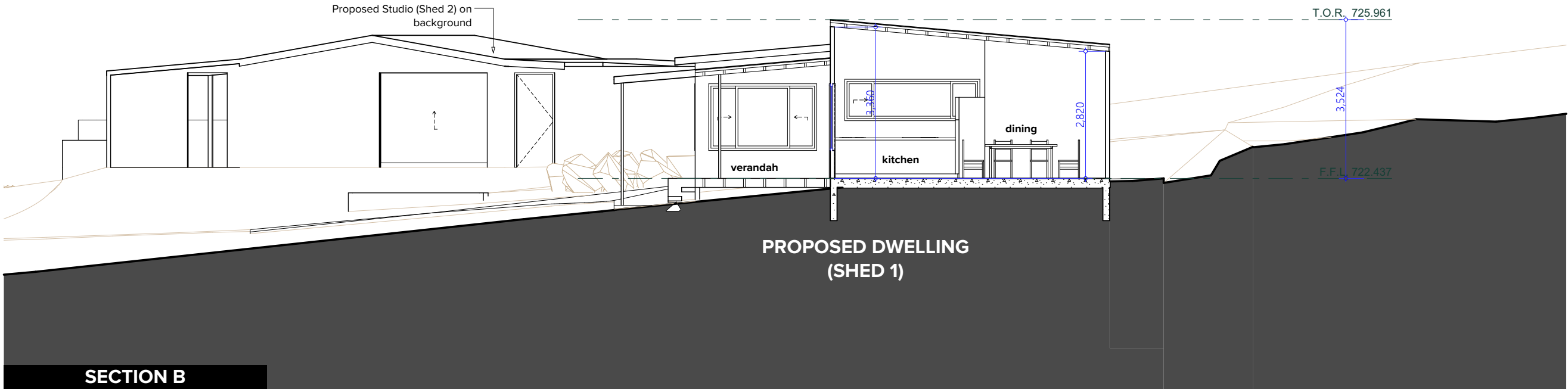
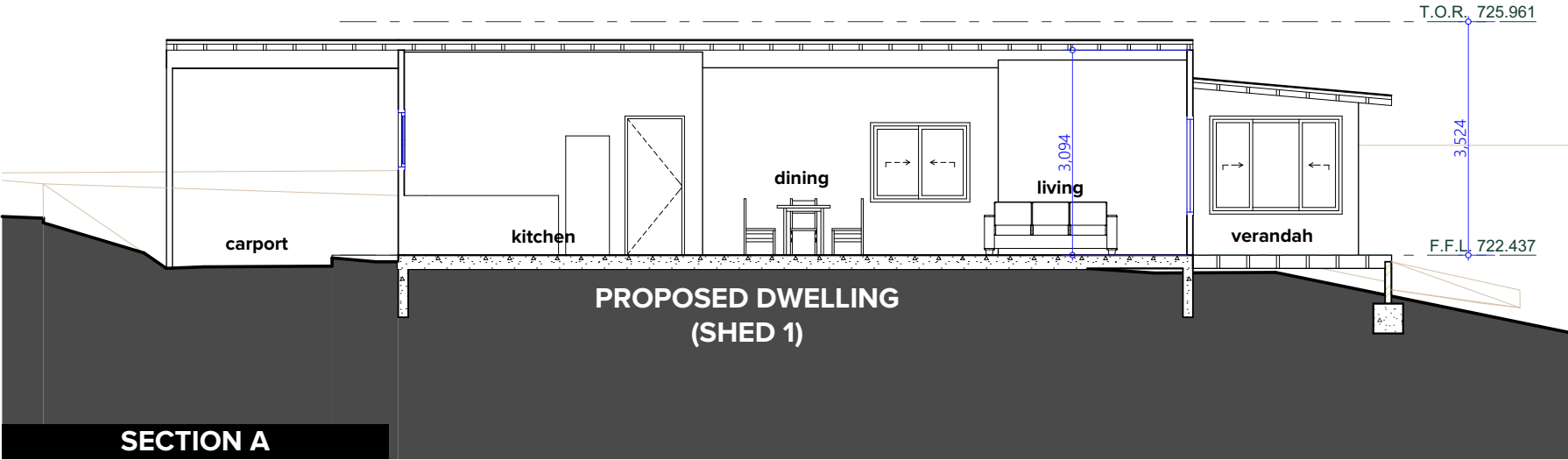
Energy Commitments	
Hot water	
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6.5 stars.	
Cooling system	
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.	
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.	
Heating system	
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.	
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.	
Ventilation	
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a  Kitchen: individual fan, open to façade; Operation control: manual switch on/off  Laundry: natural ventilation only, or no laundry; Operation control: n/a	
Artificial lighting	
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Natural lighting	
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	
Other	
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.	
The applicant must install a fixed outdoor clothes drying line as part of the development.	



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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>SHED 1 EXISTING ELEVATIONS</b> Drawing Number: <b>DA-010</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: <b>23512142969</b>

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Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pod slab.	88.61	nil;not specified	nil	
external wall: framed (metal clad); frame: light steel frame.	all external walls	3.50 (or 4.00 including construction) with one of the measures to address thermal bridging;rockwool batts, roll or pump-in	• Install reflective foil outside the frame to create a minimum 20 mm reflective airspace between frame and veneer, or • Install continuous insulation layer with at least R0.3 on the inside or outside of the frame	wall colour: Light (solar absorptance < 0.48)
internal wall: plasterboard; frame: light steel frame.	48.84	rockwool batts, roll or pump-in	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, light steel frame.	175	ceiling: 6.4 (up), roof: foil/sarking with the measure to address thermal bridging;ceiling: rockwool batts, roll or pump-in; roof: foil/ sarking.	• Install continuous insulation layer with at least R0.6 above or below the roof frame members	roof colour: medium (solar absorptance 0.48-0.59); 0.5 to ≤ 1.0% of ceiling area uninsulated
<div><div>Note</div><div>• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.</div></div> <div><div>Note</div><div>• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.</div></div> <div><div>Note</div><div>• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.</div></div> <div><div>Note</div><div>• Roof space ventilation needs to meet the condensation management provisions in the ABCB Housing Provisions of the National Construction Code.</div></div> <div><div>Note</div><div>• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.</div></div>				

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Single Dwelling

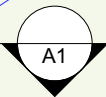
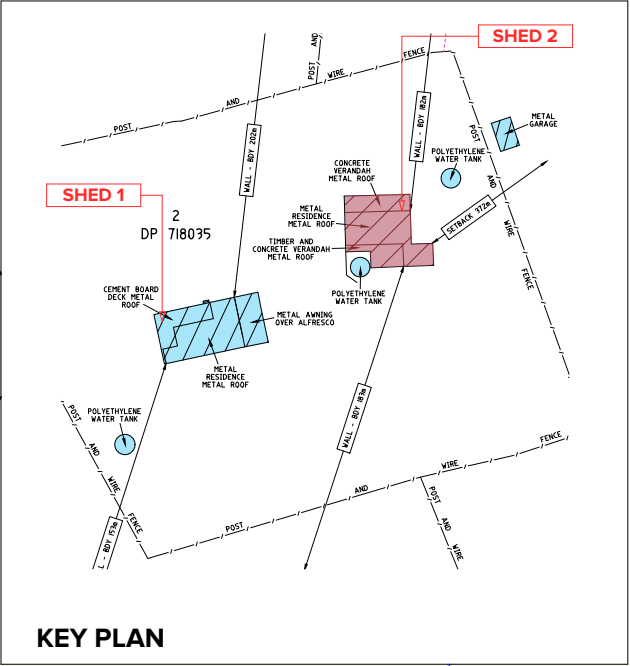
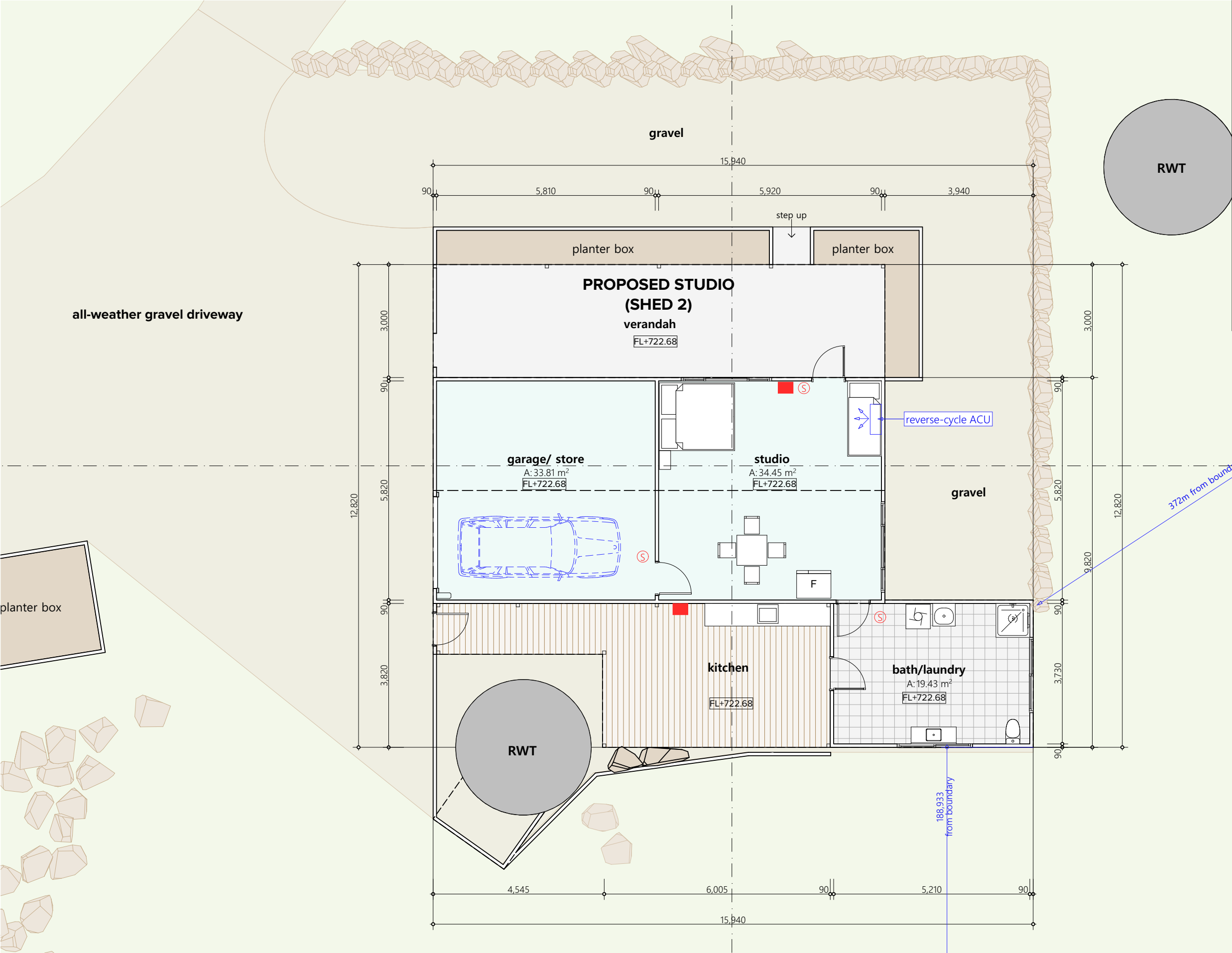
Certificate number: 1767231S  
Date of issue: Wednesday, 02 October 2024



Client: <b>Peter Duncan</b>	Town Planner: <b>KG</b> Drawn By: <b>MM</b> Checked By: <b>GC</b>	Revision: <b>5</b> Scale: <b>1:100,</b> <b>1:1.33 @ A3</b>	<b>1300 008 138</b> info@councilapproval.com.au www.councilapproval.com.au
Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>SHED 1 EXISTING SECTION</b>  Drawing Number: <b>DA-011</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: 23512142969	

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LEGEND:

	smoke alarm
	fire extinguisher/ fire blanket

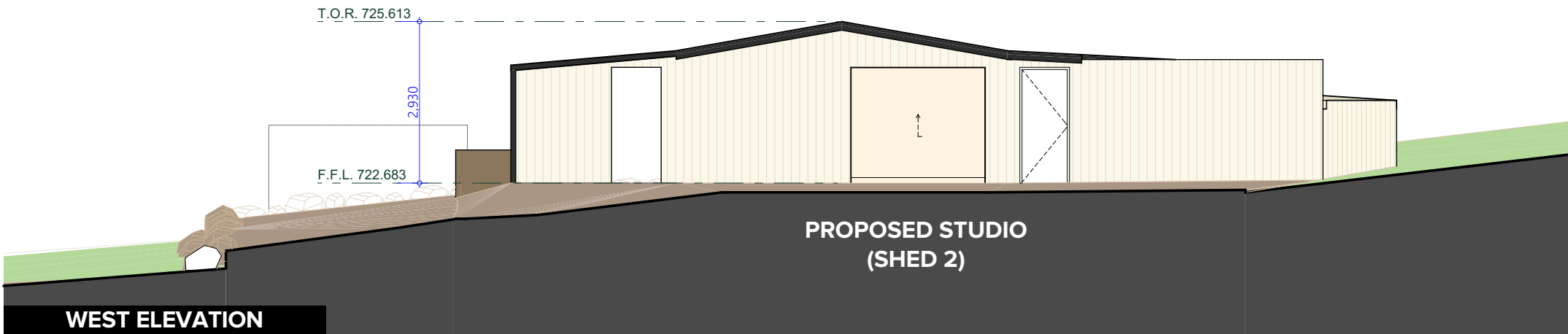
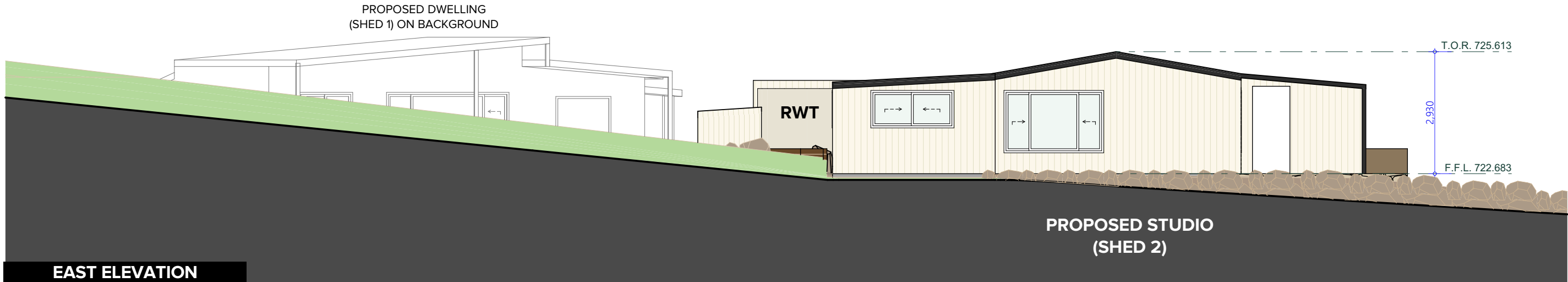


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5	Updated Studio Layout	MM	18/11/24
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3	Smoke Alarms and Fire Blanket	MM	23/8/24
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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>PROP. STUDIO PLAN (SHED 2)</b> Drawing Number: <b>DA-012</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: 23512142969	

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Water Commitments
<b>Fixtures</b>
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.
<b>Alternative water</b>
Rainwater tank
The applicant must install a rainwater tank of at least 26000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 158.13 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
<ul style="list-style-type: none"><li>all toilets in the development</li></ul>
<ul style="list-style-type: none"><li>the cold water tap that supplies each clothes washer in the development</li></ul>
<ul style="list-style-type: none"><li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>
<ul style="list-style-type: none"><li>all hot water systems in the development</li></ul>

Thermal Performance and Materials commitments
<b>Do-it-yourself Method</b>
<b>General features</b>
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.
The conditioned floor area of the dwelling must not exceed 300 square metres.
The dwelling must not contain open mezzanine area exceeding 25 square metres.
The dwelling must not contain third level habitable attic room.
<b>Floor, walls and ceiling/roof</b>
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pod slab.	53.88	nil/not specified	nil	
garage floor - concrete slab on ground.	33.81	none	nil	

Construction	Area - m <sup>2</sup>	Additional insulation required	Options to address thermal bridging	Other specifications	
external wall: framed (metal clad); frame: light steel frame.	all external walls	3.50 (or 4.00 including construction) with one of the measures to address thermal bridging: rockwool batts, roll or pump-in	<ul style="list-style-type: none"><li>• Install reflective foil outside the frame to create a minimum 20 mm reflective airspace between frame and veneer, or</li><li>• Install continuous insulation layer with at least R0.3 on the inside or outside of the frame</li></ul>	wall colour: Light (solar absorptance < 0.48)	
internal wall: plasterboard; frame: light steel frame.	16.8	rockwool batts, roll or pump-in	nil		
ceiling and roof - flat ceiling / flat roof, framed - metal roof, light steel frame.	158	ceiling: 6.4 (up), roof: foil/sarking with the measure to address thermal bridging; ceiling: rockwool batts, roll or pump-in; roof: foil/sarking.	<ul style="list-style-type: none"><li>• Install continuous insulation layer with at least R0.6 above or below the roof frame members</li></ul>	roof colour: medium (solar absorptance 0.48-0.59); 0.5 to ≤ 1.0% of ceiling area uninsulated	
Note	<ul style="list-style-type: none"><li>• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.</li></ul>				
Note	<ul style="list-style-type: none"><li>• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.</li></ul>				
Note	<ul style="list-style-type: none"><li>• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.</li></ul>				
Note	<ul style="list-style-type: none"><li>• Roof space ventilation needs to meet the condensation management provisions in the ABCB Housing Provisions of the National Construction Code.</li></ul>				
Note	<ul style="list-style-type: none"><li>• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.</li></ul>				
Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
<b>North facing</b>					
W01	1500.00	2400.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	verandah 3000 mm, 2200 mm above base of window or glazed door	not overshadowed
<b>East facing</b>					
W02	1500.00	2400.00	thermally broken aluminium, single glazed (U-value: <=2, SHGC: >0.4)	none	not overshadowed
W03	900.00	2000.00	aluminium, single glazed (U-value: <=2.5, SHGC: >0.18)	none	not overshadowed

Thermal Performance and Materials commitments
<b>Glazed windows, doors and skylights</b>
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.
The following requirements must also be satisfied in relation to each window and glazed door:
<ul style="list-style-type: none"><li>The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.</li></ul>
<ul style="list-style-type: none"><li>Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</li></ul>
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).

Energy Commitments
<b>Hot water</b>
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.
<b>Cooling system</b>
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 3 Star (old label)
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 1 star (cold zone)
<b>Heating system</b>
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 3 star (cold zone)
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 3 star (cold zone)
<b>Ventilation</b>
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a
Kitchen: individual fan, open to façade; Operation control: manual switch on/off
Laundry: natural ventilation only, or no laundry; Operation control: n/a
<b>Artificial lighting</b>
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
<b>Natural lighting</b>
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.
<b>Other</b>
The applicant must install a fixed outdoor clothes drying line as part of the development.

**BASIX<sup>®</sup>Certificate**  
Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

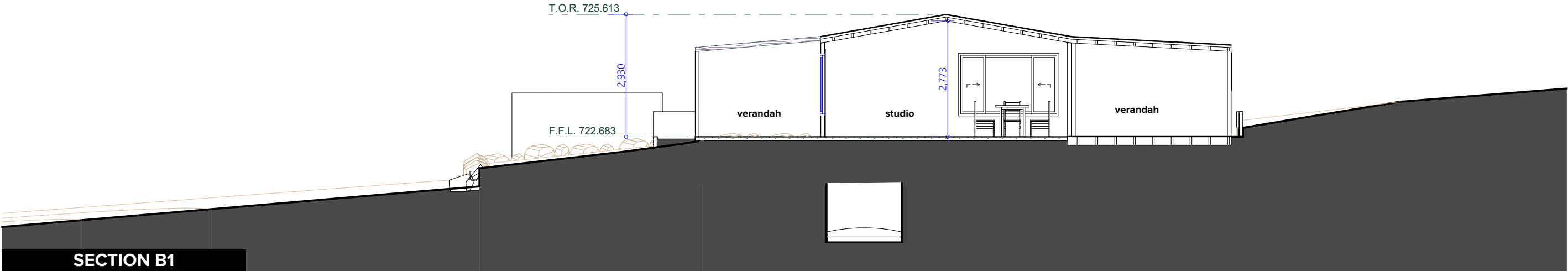
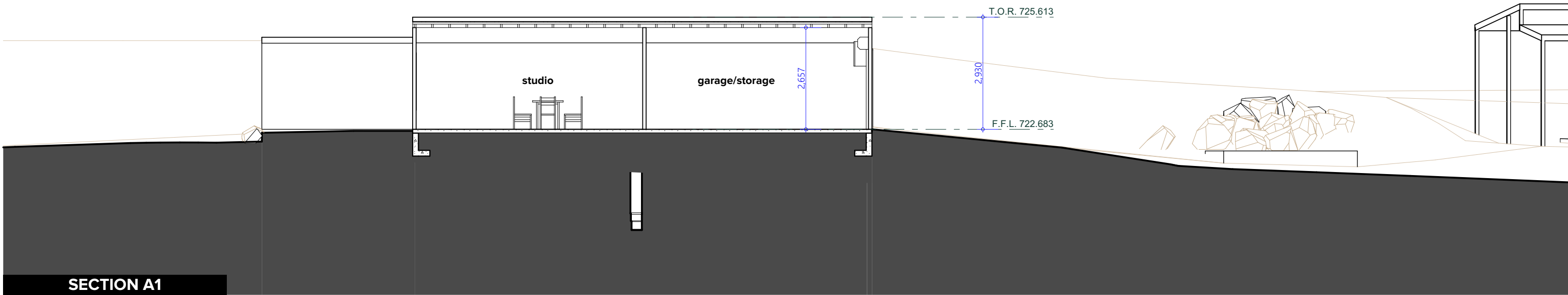
Single Dwelling

Certificate number: 1767230S  
Date of issue: Wednesday, 02 October 2024



Client: <b>Peter Duncan</b>	Town Planner: KG Drawn By: MM Checked By: GC	Revision: <b>5</b> Scale: <b>1:100</b> , <b>1:1.59 @ A2</b>	<b>1300 008 138</b> info@councilapproval.com.au www.councilapproval.com.au
Project: <b>DA for Change of Use</b> 1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>PROP. STUDIO SHED 2 ELEVATIONS</b> Drawing Number: <b>DA-013</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: 23512142969	

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4	Final DA Plans Issued	MM	8/10/24
3	Smoke Alarms and Fire Blanket	MM	23/8/24
2	Client changes	MM	21/3/24
1	Initial Concept Plans	MM	8/2/24

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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>PROP. STUDIO SHED 2 SECTIONS</b> Drawing Number: <b>DA-014</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: <b>23512142969</b>

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SHED 1 NORTHERN VIEW



SHED 2 NORTHERN VIEW

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Client: <b>Peter Duncan</b>	Town Planner: <b>KG</b> Drawn By: <b>MM</b> Checked By: <b>GC</b>	Revision: <b>5</b> Scale: <b>1:158.75 @ A3</b>	<b>1300 008 138</b> info@councilapproval.com.au www.councilapproval.com.au
Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>PROPOSED 3D IMAGES (1)</b>  Drawing Number: <b>DA-015</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: 23512142969	

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Project: <b>DA for Change of Use</b>  1299 Tarrants Gap Rd, Wyangala, NSW 2808	Drawing Name: <b>PROPOSED 3D IMAGES (2)</b>  Drawing Number: <b>DA-016</b> Nominated Architect: <b>Giuseppe Calabrese</b> <b>NSW8079   VIC00137</b>	Approvals Pty Ltd as Trustee for The Council Approval Group Trust ABN: <b>23512142969</b>	

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